



**FARMERS
BRANCH**

online

ORDINANCE NUMBER 2468

AN ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF FARMERS BRANCH, TEXAS, AS HERETOFORE AMENDED; SO AS TO GRANT A SPECIFIC USE PERMIT FOR A GASOLINE SERVICE STATION WITH A CAR WASH AND CONVENIENCE STORE LOCATED AT 13995 MIDWAY ROAD, THE SOUTHWEST CORNER OF MIDWAY ROAD AND SPRING VALLEY ROAD AND WITHIN THE PLANNED DEVELOPMENT NO. 64 (PD-64) ZONING DISTRICT; REPEALING ORDINANCE NO. 1344; PROVIDING FOR INJUNCTIVE RELIEF; PROVIDING FOR SEVERABILITY; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Farmers Branch deems it necessary, for the purpose of promoting the health, safety, morals, or general welfare of the City to enact a new zoning ordinance; and

WHEREAS, the City Council has appointed a Planning and Zoning Commission to recommend the boundaries of the various original zoning districts and appropriate regulations be enforced therein and to recommend a new zoning ordinance to amend, replace and restate the existing Ordinance No. 1344 as amended; and

WHEREAS, the Planning and Zoning Commission has divided the City into districts and has prepared regulations pertaining to such districts in accordance with a comprehensive plan and designed to lessen congestion in the streets; to secure safety from fire, panic, and other dangers; to promote health, general welfare; to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; to facilitate the adequate provision of transportation, water, sewerage, schools, parks, and other public requirements; and

WHEREAS, the Planning and Zoning Commission, has given reasonable consideration, among other things, the character of the districts and their peculiar suitability for particular uses, with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the City; and

WHEREAS, the City Planning and Zoning Commission of the City of Farmers Branch and the governing body of the City of Farmers Branch, in compliance with the Charter of the City of Farmers Branch, and the State Law with reference to changes to zoning classifications under the Zoning Ordinance Regulations and Zoning Map, having given the requisite notices by publication

and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally, and to the persons interested and situated in the affected area and in the vicinity thereof, the governing body of the City of Farmers Branch is of the opinion that said change in zoning should be made;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Farmers Branch, Texas, be, and the same is hereby amended, by amending the zoning map of the City of Farmers Branch so as to grant a Specific Use Permit for a gasoline service station with a car wash and convenience store located on the 0.833 acre tract of land at the southwest corner of Midway Road and Spring Valley Road specifically addressed as 13995 Midway Road and within the Planned Development No. 64 (PD-64) zoning district

SECTION 2. That the gasoline service station, convenience store and car wash shall be constructed and specifically located in accordance with the approved site plan attached as Exhibit "A" and incorporated into the body of this ordinance.

SECTION 3. That maintenance of the proposed pavers at each drive approach shall be the responsibility of the property owner.

SECTION 4. That all convenience store windows shall be of tinted glass with dark bronze aluminum frames.

SECTION 5. That a lighting plan shall be submitted and subject to staff approval prior to the issuance of a building permit.

SECTION 6. That Ordinance No. 1344 is hereby repealed.

SECTION 7. That the above described property shall be used only in the manner and for the purpose provided by the Comprehensive Zoning Ordinance of the City of Farmers Branch as herein amended and by the granting of a specific use permit for a gasoline service station and car wash.

SECTION 8. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty provided for in the Comprehensive Zoning Ordinance of the City of Farmers Branch, and upon conviction shall be punishable by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense.

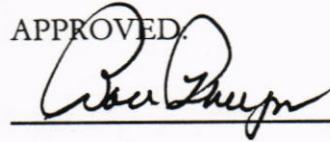
SECTION 9. If any section, paragraph, subdivision, clause, phrase, or provision of this ordinance shall be judged invalid or unconstitutional, the same shall not affect the validity of this ordinance as a whole or any portion thereof other than that portion so decided to be invalid or unconstitutional.

SECTION 10. In addition to and accumulative of all other penalties, the City shall have the right to seek injunctive relief for any and all violations of this ordinance.

SECTION 11. This ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such case provides.

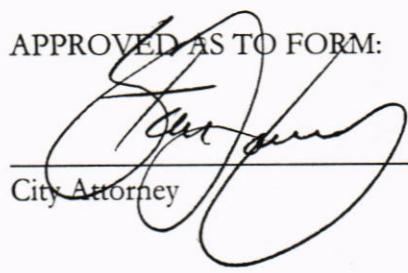
DULY PASSED BY THE CITY COUNCIL OF THE CITY OF FARMERS BRANCH, TEXAS,
on this the 4th day of May, 1999.

APPROVED:



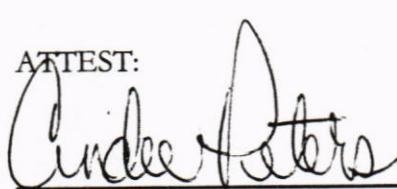
Mayor

APPROVED AS TO FORM:



City Attorney

ATTEST:



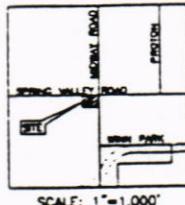
City Secretary



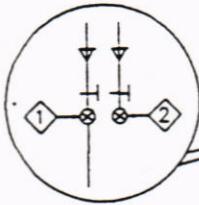
OPTIONAL FORM
VOL 55108, PG 743
O.R.O.C.T.

THOMAS L. CHENOWETH SURVEY
ABSTRACT NO. 273

0 20 40
SCALE IN FEET

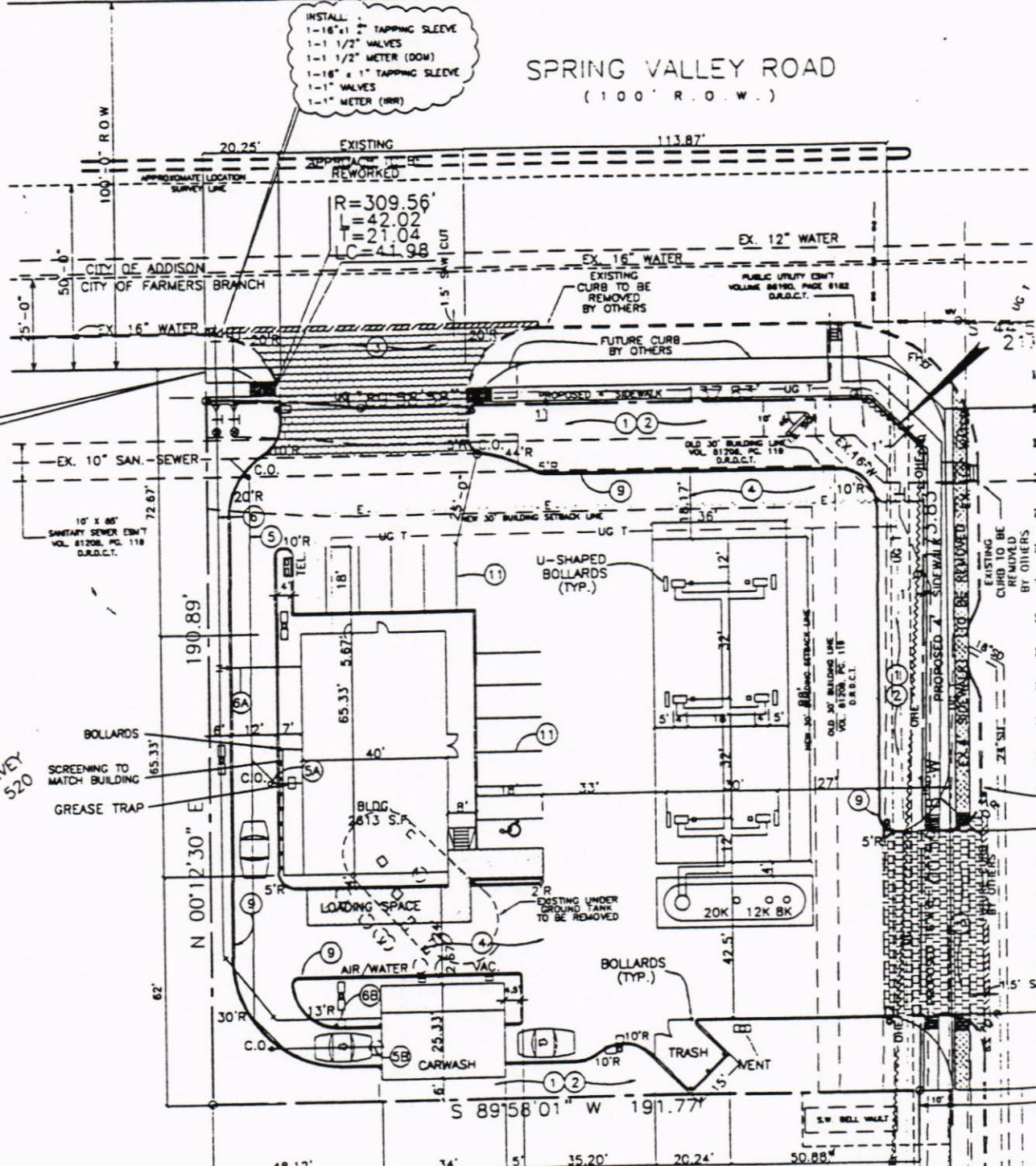


SCALE: 1" - 1,000



WESTERRA PARKSIDE, L.P.
VOL. 94245 PG. 2881
D.R.D.C.T.

NOAH GOOD SURVEY
ABSTRACT NO. 520



12' x 45'
SOUTHWESTERN BELL
TELEPHONE CO.
VOL. 80143, PG. 3346
B.R.D.C.T.

WESTDORN PHARMACEUTICALS, LTD.
VOL. 8624A, PG. 2981
G.R.D.C.1

Water Meter Schedule					
ID	Type	Size	No	San	Sew.
	DOM	1 1/2"	1		6"
	IRR	1"	2		NA

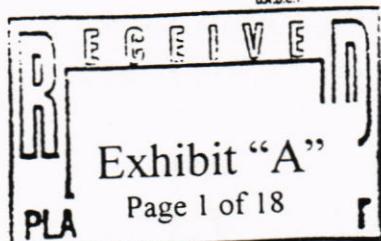


Exhibit "A"

18" UTILITY CBMT
VOL 74063 PG 2138
D.R.D.C.T.
CORRECTION OF LASERBEAM INSTRUMENT
RECORDED IN VOL 783 PG 1188
D.R.D.C.T.

MIDWAY ROAD

(VARIABLE WIDTH R.O.W.)

ELISHA FIFE SURVEY
ABSTRACT NO. 478

50'-0"

DATA SUMMARY TABLE

ZONING PROPOSED USE	PD-64 (PLANNED DEVELOPMENT) RETAIL (CONVENIENCE STORE w/ GASOLINE AND CARWASH)
LAND AREA	36,282.48 S.F. OR .833 AC.
BUILDING SQUARE FOOTAGE	2613 S.F.
HEIGHT OF BUILDING	21'-6"
CAR WASH SQUARE FOOTAGE	861.33 S.F.
HEIGHT OF CARWASH	13'-9"
CANOPY SQUARE FOOTAGE	3168 S.F.
CANOPY HEIGHT	19'-0"
LAND COVERAGE(BLD. CANOPY & CAR WASH)	18.30%
PARKING SPACES REQUIRED	10
PARKING SPACES PROVIDED	12
LANDSCAPING SQUARE FOOTAGE	7,000 S.F. OR 19.29%
MONUMENT SIGN SQUARE FOOTAGE	115.1 S.F.
ELEVATION SIGN SQUARE FOOTAGE	61.2 S.F.
TOTAL SIGN SQUARE FOOTAGE	176.3 S.F.

THE DIMENSION GROUP

CIVIL ARCHITECTURE • LAND DEVELOPMENT • PLATINUM • ARCHITECTURE • SURVEYS
50700 MANDUILL ROAD
DALLAS, TEXAS 75238
TEL: (214) 343-8100
FAX: (214) 341-8860

SITE PLAN

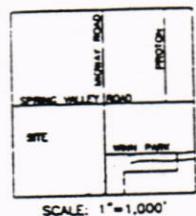
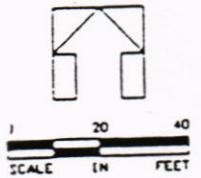
TETCO STORE No. 613
TETCO ROAD and SPRING VALLEY ROAD
13995 MIDWAY ROAD, DALLAS, TEXAS
13995 MIDWAY ROAD, DALLAS, TEXAS

DATE	DESCRIPTION	PER CITY COMMENTS	PER TECO	PER CITY COMMENTS	PER CITY COMMENTS	PER CITY COMMENTS	PER CITY COMMENTS
1/2/98	PLAN INTRO						
1/2/98	PER CITY COMMENTS						
1/2/98	PER TECO						
1/2/98	PER CITY COMMENTS						
1/2/98	PER CITY COMMENTS						
1/2/98	PER CITY COMMENTS						
1/2/98	PER CITY COMMENTS						

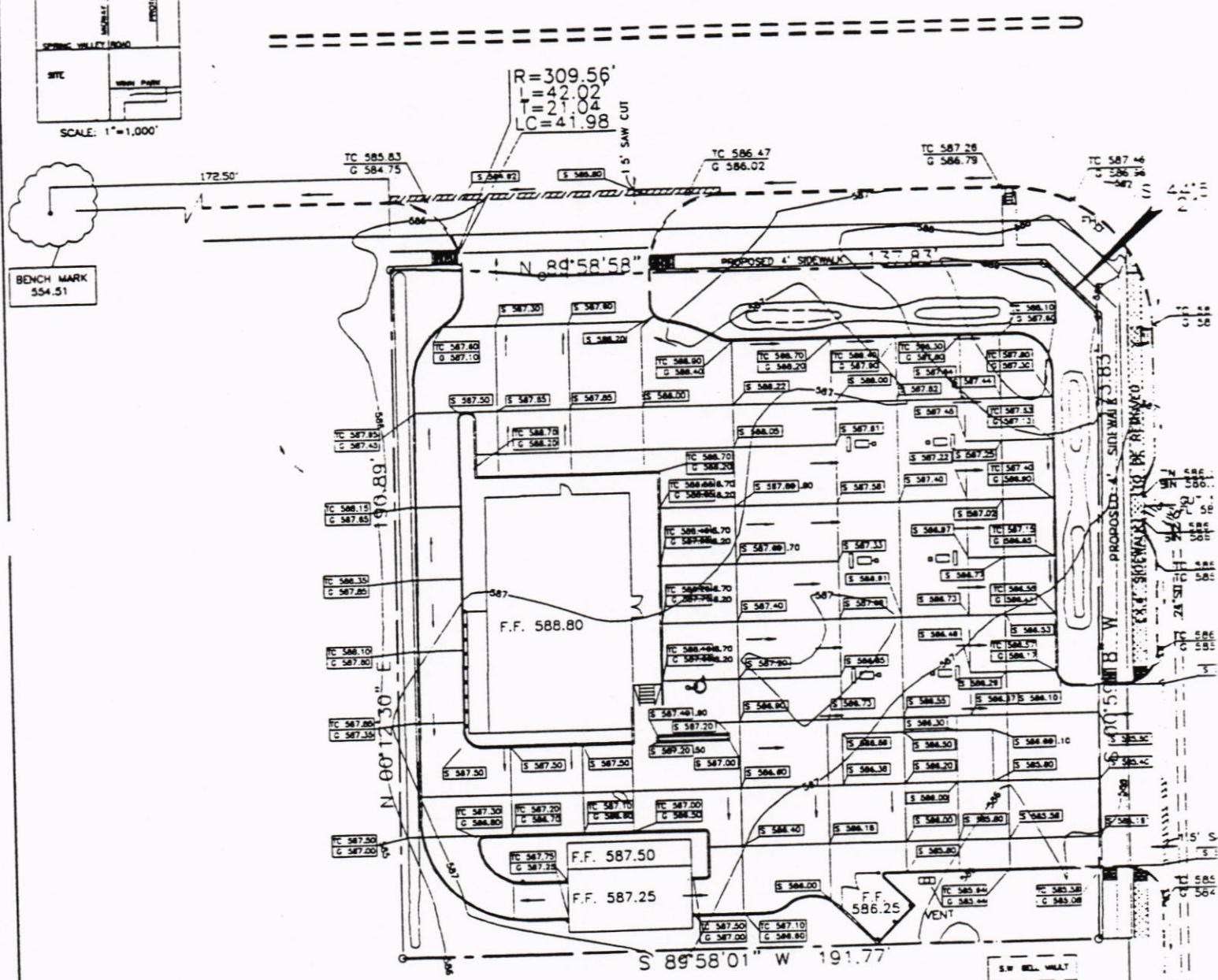
3C2

Exhibit "A"

DEVELOPER OWNER:
TETCO STORES, L.P.
114 N.E. LOOP 410
SAN ANTONIO, TX 78217
TEL: (210) 821-5900



SPRING VALLEY ROAD (100' R.O.W.)



LEGEND

EXIST. TOP CURB ELEV	TC 586.50
EXIST. CUTTER ELEV	G 586.00
EXIST. SPOT ELEVATION	x 586.00
TOP CURB ELEVATION	TC 586.00
CUTTER ELEVATION	G 585.50
SPOT ELEVATION	/ 586.00
TOP ISLAND ELEVATION	\ 586.00
TOP PVM/T ELEVATION	TC 586.00
EXISTING CONTOURS	- - - - -

Exhibit "A"

Page 3 of 18

LEGEND

EXPANSION JOINT

3D1

MIDWAY ROAD

(VARIABLE WIDTH R.O.W.)

EYEWITNESSES

- unless otherwise shown. All concrete pavement and be 5" thickness and shall be reinforced with #4 bars placed at 6" on center "one edge" to be 1" thick and shall be reinforced with #4 bars placed at 12" on center.

 - All reinforcement shall be minimum Grade 50 in accordance with ASTM A-515. Place all reinforcing bars on plastic chairs to position the steel at approximately mid-joint in the slab. Other types of support (recess, anchors, etc.) are NOT ALLOWED.
 - Sawed control joints shall be placed at 5' to 18' nominal spacing or as shown in the plan. Control joints shall be sawed within 3 hours after placing concrete. Joints shall be properly cleaned and treated as soon as possible after joints are cut.
 - Construction joints may be used anywhere that a sawed contraction joint would normally occur.
 - All pavements, sidewalks and area pavements shall have a medium broom finish.
 - Expansion joint filler is "Ceramer" as produced by W.R. Meadows or equal as approved in advance by the Engineer. DO NOT USE REDWOOD.
 - TRENCH SAFETY:** If any trench on this job site, including open excavations whose dimensions cause them to be considered "trenches" by OSHA, require the use of shoring or bracing for the installation of utilities, foundations or any other site element, is equal to or greater than 3.00' in depth, then the Contractor shall not perform ANY trenching on this site until he has first obtained detailed plans and specifications for trench safety systems conforming to OSHA requirements. Such plans and specifications shall be prepared by a registered professional engineer employed by or contracted by the contractor and shall be considered a part of the contractor's means and methods of construction. If this project is offered "or bid", the bids must contain a separate unit price item for trench safety.
 - All surplus excavation and waste material shall become the property of the contractor and it shall be his sole responsibility to remove such surplus excavation and waste material from the site to a public dump site approved for the disposal of such materials. All surplus excavation is removed from this site to another property, it shall only be placed on such property with the written consent of the owner(s) of such property. A copy of such written consent shall be provided to Tetco. If the Contractor wishes to dispose of surplus excavation on-site, it shall be only with the prior approval of the Tetco's project representative and care should be taken to avoid blocking natural drainage and increasing steep slopes.
 - Concrete shall have a minimum 28 day compressive strength of 3000 PSI unless otherwise specified on these plans. All exposed edges of concrete shall have a 3/4 inch chamfer. Reinforcing steel shall be grade 60 minimum.
 - The Contractor is required to provide his own staking and to verify project elevations. "Notch Existing" shall be understood to apply to both vertical elevation and horizontal alignment.
 - Any existing site improvement or utility removed, damaged or undercut by contractor's operations shall be repaired or replaced as directed by the owner's representative and as approved by the owner of such utility. Any such repair or replacement shall be at the Contractor's sole expense.
 - The Contractor shall prepare all landscape areas including street right-of-way areas to an acceptable subgrade condition in accordance with the landscape plan. If the Contractor is not employed to provide and install landscaping, he shall prepare a finished and compacted subgrade in the landscaping areas 4" below nominal finish grade as shown on the plans and shall add 2" of topsoil to bring landscaping subgrade, as provided to the landscaping contractor, to 2" below nominal finish grade.
 - The Contractor shall stockpile and adequate quantity of topsoil, for use by the landscaper, to bring finish grade in the landscaped areas to nominal finish grade as shown on these plans. Where sod is placed, adjust grades so that top of sod matches top of curb and flow lines of drainage swales.

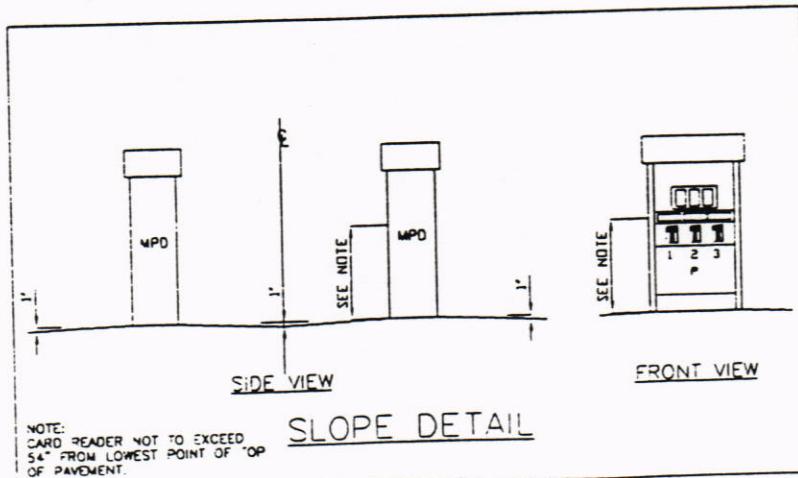


Exhibit “A”

Page 4 of 18

DEVELOPER / OWNER
FETCO STORES, L.P.
1777 N.E. LOOP 410
SAN ANTONIO, TX 78217

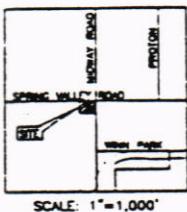
CIVIL ENGINEERING • LAND DEVELOPMENT • PLANNING • ARCHITECTURE • SURVEYING		THE DIMENSION GROUP	
		GRADING PLAN TFCO STORE No. 613 MIDWAY ROAD and SPRING VALLEY ROAD FARMERS BRANCH, TEXAS	
PROJECT #3001	15995	DATE 1/1/04 1/21/04 1/21/04 1/21/04 1/21/04 1/21/04 1/21/04 1/21/04	DESCRIPTION PER TFCO PER CITY COMMENTS PER TFCO PER CITY COMMENTS PER TFCO PER CITY COMMENTS PER TFCO PER CITY COMMENTS
3D			(3D)



CREDMILL PARK
VOL. 88108, PG. 243
DRAFT

THOMAS L. CHENOWETH SURVEY
ABSTRACT NO. 273

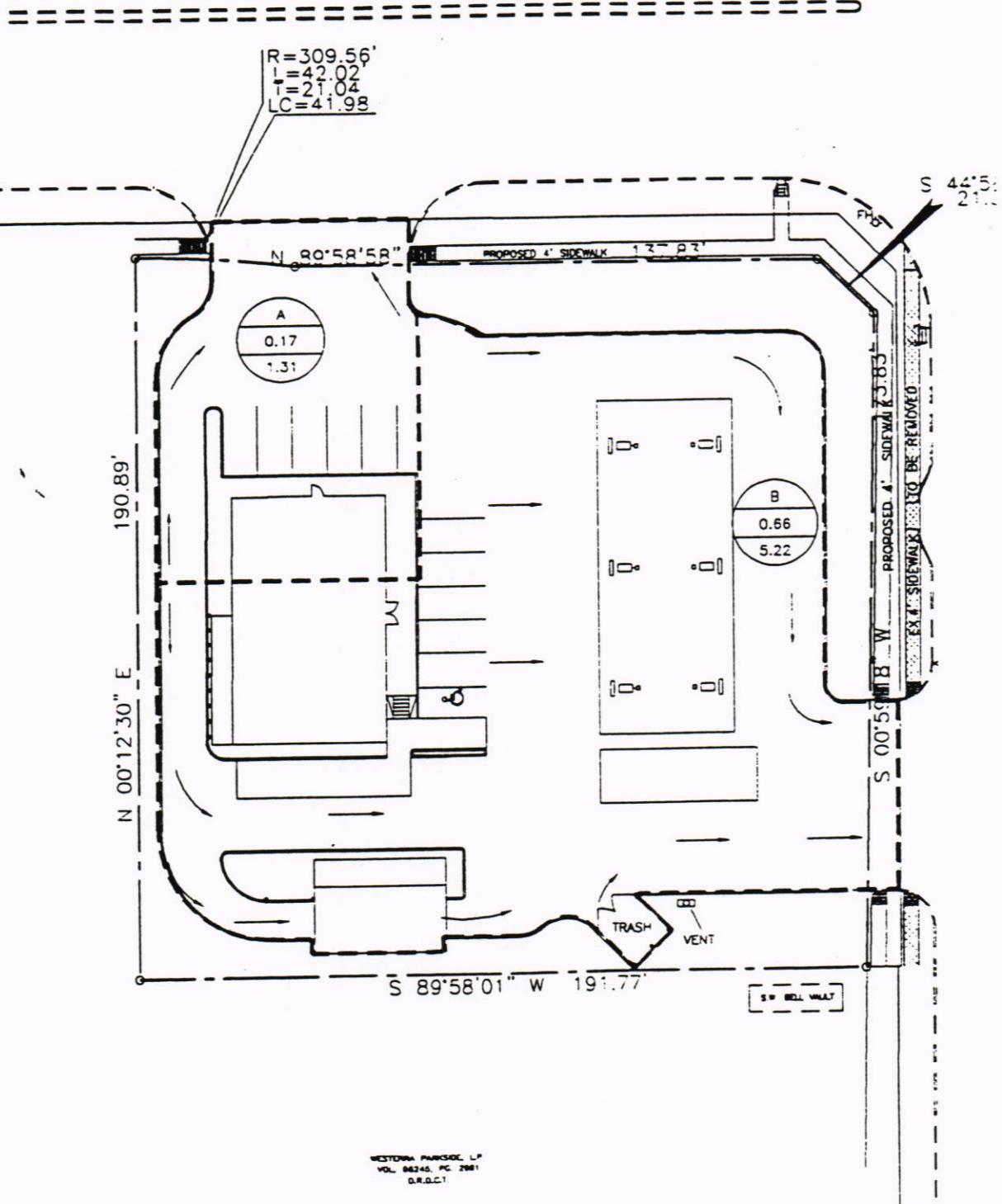
SCALE IN FEET



WESTERN PARCIAL, LP.
VOL. 88245, PG. 2861
DRAFT

NOAH GOOD SURVEY
ABSTRACT NO. 520

SPRING VALLEY ROAD (100' R.O.W.)



WESTERN PARCIAL, LP.
VOL. 88245, PG. 2861
DRAFT

Exhibit "A"
Page 5 of 18

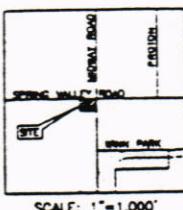
3E1



GREENHILL PARK
VOL. 85108, PG. 742
D.R.D.C.T.

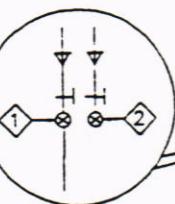
THOMAS L. CHENOWETH SURVEY
ABSTRACT NO. 273

0 20 40
SCALE IN FEET



SCALE: 1" = 1,000'

SPRING VALLEY ROAD (100' R.O.W.)



WESTORIA PARCIDE, L.P.
VOL. 86245, PG. 2981
D.R.D.C.T.

NOAH GOOD SURVEY
ABSTRACT NO. 520

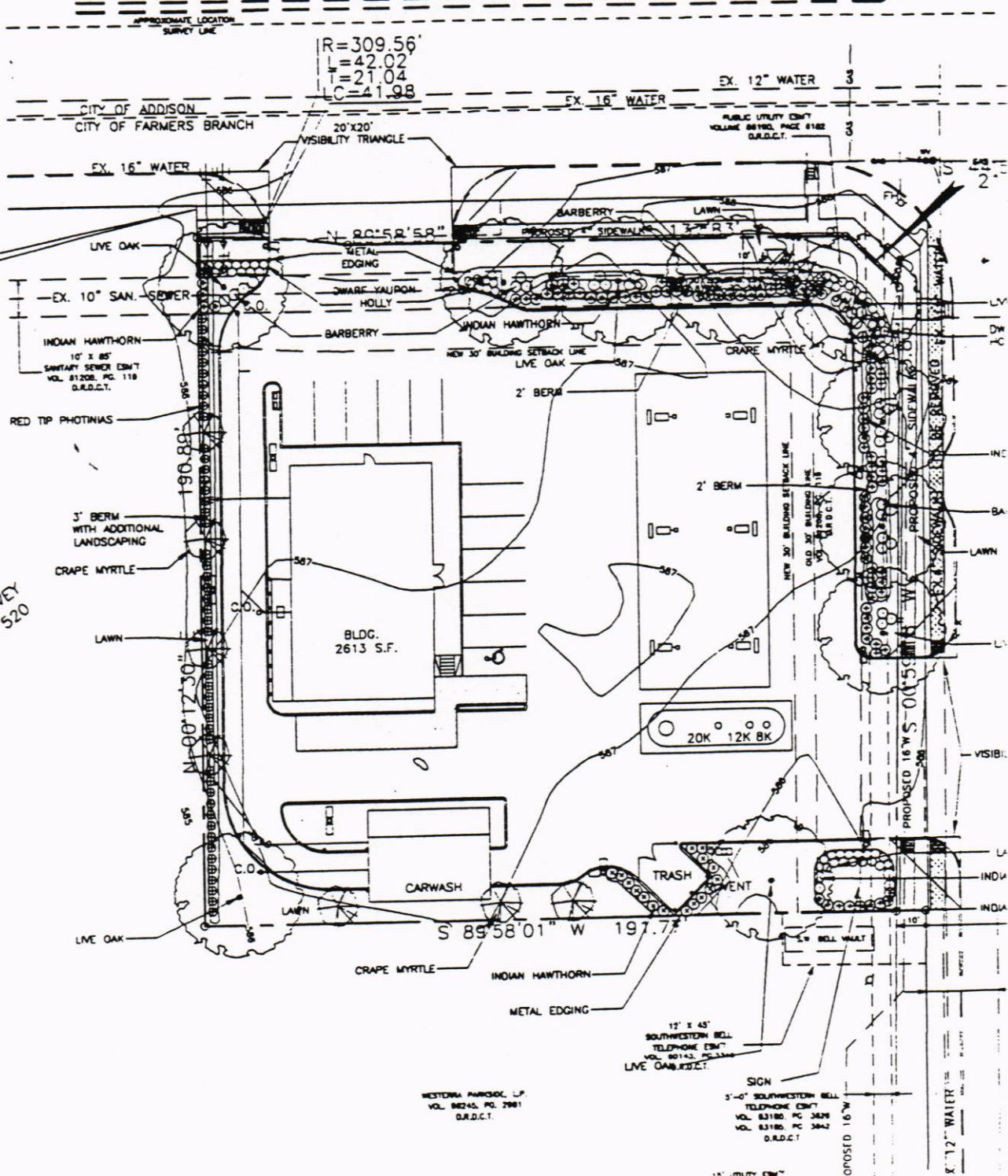


Exhibit "A"

Page 7 of 18

15" UTILITY CHT
VOL. 74063, PG. 2138
D.R.D.C.T.

CORRECTION OF (AMENDMENT) INSTRUMENT
RECORDED IN VOL. 783 PG. 1184
D.R.D.C.T.

3F1

GENERAL NOTES

TREES SHALL BE PLANTED AT LEAST FIVE (5') FEET FROM ANY UTILITY LINE (GAS OR SIDEWALK AND OUTSIDE ALL UTILITY EASEMENTS (THREE FEET DIAMETER CLEAR AROUND FIRE HYDRANTS).

TREES OVERHANGING SIDEWALKS AND PARKING OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9') FEET.

TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN (14') FEET.

TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES, AND FIRE LANES WILL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN (14') FEET.

TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.

NO SHRUB SHALL BE PERMITTED WITHIN AREAS LESS THAN THREE (3') FEET IN WIDTH ALL SUCH AREAS SHALL BE GRASS OR GROUNDCOVER. THEY MAY BE COVERED WITH CONCRETE OR OTHER PERMANENT FIXED MATERIAL SUCH AS DECORATIVE PAVERS.

MULTI-TRUNK AND ORNAMENTAL TREES WILL BE ALLOWED IN THE CITY'S RIGHT-OF-WAY WITH STAFF APPROVAL ONLY. (MUST BE OUTSIDE ANY VISIBILITY TRIANGLES).

A VISIBILITY TRIANGLE MUST BE PROVIDED AT ALL DRIVE INTERSECTIONS, IN PARKING LOT ISLANDS, AS REQUIRED BY THE THOROUGHFARE STANDARDS ORDINANCE. SHRUBS ARE NOT TO EXCEED TWO FEET SIX INCHES (2'-6") IN HEIGHT, AND TREES WILL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF NINE (9') FEET.

ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.

LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS.

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS AND SIDEWALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTIONS DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM. IMPACT FEES MUST BE PAID TO THE DEVELOPMENT SERVICES DEPARTMENT FOR SEPARATE IRRIGATION METERS PRIOR TO ANY PERMIT RELEASE.

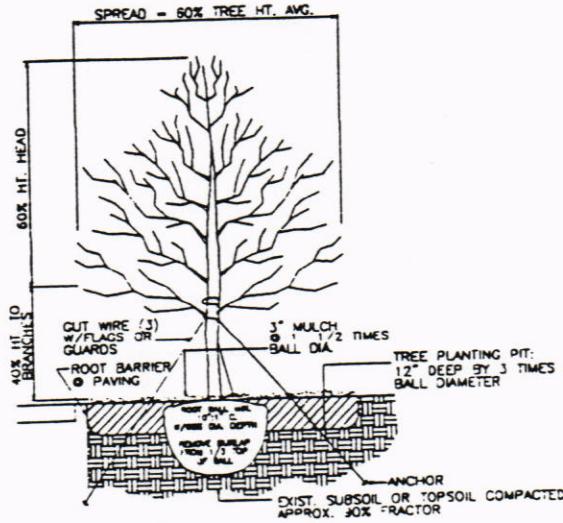
ALL SIGNAGE AND FENCING CONTINGENT UPON BUILDING INSPECTION DEPARTMENT APPROVAL

ALL BEDS AREAS TO BE MULCHED WITH 3" SHREDDED CYPRESS MULCH.

THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL TREES ON THE SITE, ADJACENT TO THE SITE OR ADJACENT PROPERTY OR ADJACENT TO THE SITE IN PUBLIC RIGHT-OF-WAY UNTIL RELEASE TO REMOVE SOME OR ALL TREES IS GIVEN BY THE OWNER'S PROJECT REPRESENTATIVE. IN GENERAL, ALL TREES, EXCEPT THOSE DESIGNATED TO REMAIN ON THE CIVIL OR LANDSCAPE PLANS ARE TO BE REMOVED, BUT ONLY AFTER SUCH REMOVAL IS SPECIFICALLY APPROVED BY THE OWNER'S PROJECT REPRESENTATIVE.

PLANT LIST

COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY	NOTES
Live Oak	Quercus virginiana	4" Caliper	10	
Crape Myrtle	Lagerstroemia indica	10' min. ht.	7	Watermelon
Indian Hawthorn	Rhaphiolepis indica 'Clara'	5 gallon	111	36" O.C.
Barberry	Berberis x mentorensis	5 gallon	44	36" O.C.
Dwarf Yaupon	Ilex vomitoria 'Nana'	5 gallon	58	36" O.C.
Holly				
Red Tip Photinia	Photinia glabra	5 gallon	49	36" O.C.
Com. Bermuda	Cynodon Dactylon	SOO	4,401 SF	



TREE PLANTING DETAIL

(2"-2" CAL. OR LARGER)

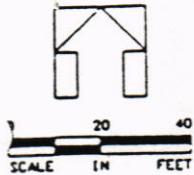
DEVELOPER / OWNER:

TELCO STORES, INC.
11771 NE LOOP 410
SAN ANTONIO, TX 78217
TEL (210) 821-5300

3F2

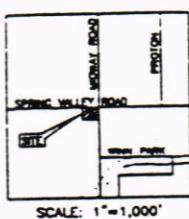
Exhibit "A"

Page 8 of 18



CEDAR PARK
VOL. 85108 PG. 243
D.R.C.T.

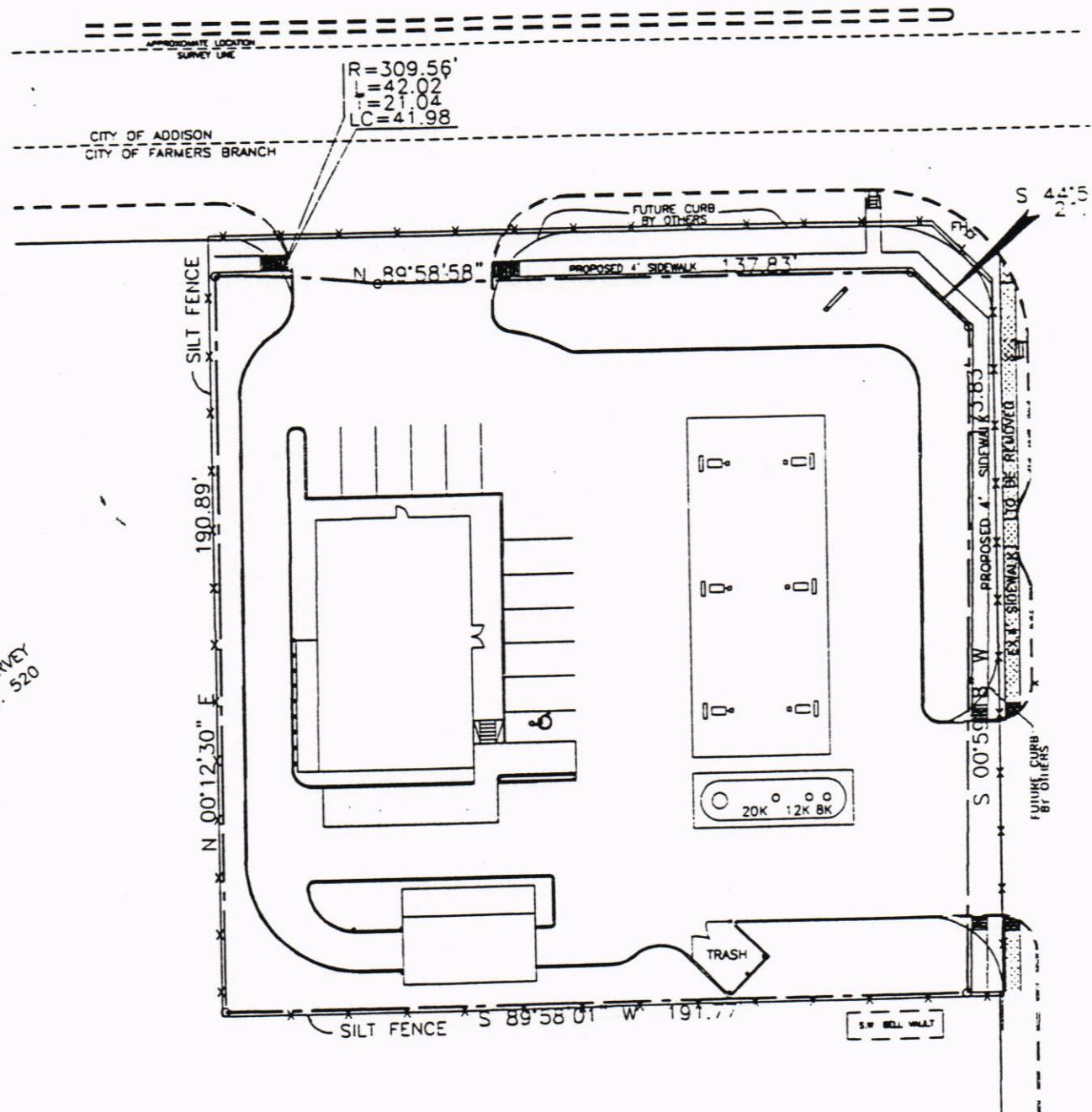
THOMAS L. CHENOWETH SURVEY
ABSTRACT NO. 273



SPRING VALLEY ROAD (100' R.O.W.)

WESTERN PARISHES, L.P.
VOL. 86245, PG. 2081
D.R.C.T.

NOAH GOOD SURVEY
ABSTRACT NO. 520



LEGEND

----- PROPERTY LINE

— SILT FENCE

Exhibit "A"
Page 9 of 18

3G1

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- SOIL EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF FARMERS BRANCH - EROSION ORDINANCE.

 - RESPONSIBILITY FOR INSTALLATION, ROUTING, INSPECTION AND MAINTENANCE OF EROSION CONTROL SHOULD BE DEFINED AND ASSIGNED TO APPROPRIATE PERSON(S) PRIOR TO COMMENCEMENT OF ANY SOIL DISTURBING ACTIVITY.
 - EROSION CONTROL MEASURES MUST BE CONSTRUCTED AND FUNCTIONAL BEFORE ANY GRAVING OR LAND DISTURBANCE TAKES PLACE.
 - TTEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE APPLIED TO ALL DEMONSTRATED AREAS WHERE SOIL GRADE IS REACHED AND ANY PARTITION OF SITE. TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO DISTURBED AREAS LEFT DORMANT FOR EXCESSIVE PERIODS.
 - IN THE EVENT THAT MEASURES BEING USED ARE DEEMED TO BE INEFFECTIVE BY CITY INSPECTORS, ADDITIONAL MEASURES OR UPDATES IN THE ORIGINAL PLAN MAY BE REQUIRED BY THE CITY OF FARMERS BRANCH.
 - THE GENERAL CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT LEAST ONCE EACH WEEK AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER TO MAINTAIN FUNCTION OF THE CONTROLS. MAINTENANCE IS CRITICAL TO EROSION CONTROL EFFECTIVENESS. EROSION CONTROL MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES.
 - VEHICLE PARKING AREAS, STAGING AREAS, STOCKPILE SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCLOSING THE AREAS WITH PROTECTIVE MEASURES SHALL BE NECESSARY.
 - CONSTRUCTION ENTRANCES/EXITS SHOULD BE LIMITED AND PROTECTION PROVIDED TO PREVENT TRACKING OF SOILS ON TO CITY STREETS.
 - REMOVE SILT OR SEDIMENT FROM STREETS, CURVES, GUTTERS, PLUMES, MANHOLE ACCESS RAMPS, CURB INLETS, STORM DRAINS, AND ANY OTHER PUBLIC DRAMAGE FACILITIES DAILY OR AS ACCUMULATION OCCURS.
 - EROSION CONTROL SHOULD BE EVALUATED TO DETERMINE THE EFFECTIVENESS OF THOSE DEVICES BY THE PERSON ASSIGNED TO INSPECT EROSION CONTROL DEVICES, AND CHANGES MADE IF NECESSARY.
 - IN ORDER TO AID IN KEEPING DISTURBANCE TO A MINIMUM, CONSIDER DESCHEMATING THE GRASSED AREAS TO THE WEST AND SOUTH "NOT TO BE DISTURBED". PREVENTING SOIL DISTURBING ACTIVITIES SUCH AS STAGING OR CONSTRUCTION EQUIPMENT TRAFFIC IN THESE AREA WOULD BE BENEFICIAL IN REDUCING EROSION POTENTIAL. VEGETATION SHOULD BE REESTABLISHED ON ALL DEMONSTRATED AREAS IN A TIMELY MANNER AS WELL.
 - CONSIDER NOTING THAT GRASS BUFFER STRIPS BE LEFT ALONG THE PERIMETER IN CONJUNCTION WITH THE PROPOSED SILT FENCING IN ORDER TO AID IN FILTERING SEDIMENT.
 - ALL SURFACE AREA DISTURBED WITH OR ADJACENT TO THE CONSTRUCTION LIMITS MUST BE PERMANENTLY STABILIZED. STABILIZATION IS OBTAINED WHEN THE SITE IS COVERED WITH IMPERVIOUS STRUCTURES AND PAVING AND/OR A UNIFORM PERENNIAL VEGETATIVE COVER. THE PERENNIAL VEGETATION MUST HAVE A COVERAGE DENSITY OF AT LEAST 70 PERCENT.
 - IF A SUBSTANTIAL AMOUNT OF RUN-OFF FROM ADJACENT AREAS IS ANTICIPATED, CONSIDER A STABILIZED SWALE A STABILIZED DITCH OR AN IMPERMEABLE GEOTEXTILE FABRIC (SIMILAR TO A SILT FENCE) ALONG THE UPSTREAM PERIMETER TO DIVERT THE FLOW AROUND THE DISTURBED AREA. THIS MAY BE DESIRABLE ALONG THE WEST PERIMETER AS IT APPEARS THAT RUN-OFF WILL OCCUR IN THIS AREA.
 - A MAINTENANCE PROGRAM SHOULD BE DEVELOPED FOR ALL PROPOSED BMP'S AS THIS IS CRUCIAL TO EROSION CONTROL EFFECTIVENESS.
 - A PIT OR WASH BASIN SHALL BE CONSTRUCTED ON-SITE FOR "WASH OUT" OF CONCRETE TRUCKS.
 - A BERM OR OTHER SPILL PROTECTION MEASURE SHALL BE SPECIFIED FOR ANY TEMPORARY FUEL STORAGE TANK ON SITE DURING CONSTRUCTION.
 - STORE ALL TRASH AND WASTE MATERIALS IN AN ENCLOSURE UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES.
 - IF "SUMP" PUMPS ARE USED TO REMOVE WATER FROM EXCAVATED AREAS, FILTER THE DISCHARGE TO REMOVE SEDIMENT AND OTHER POLLUTANTS BEFORE THE WATER LEAVES THE SITE.
 - THE STORM WATER POLLUTION CONTROL ORDINANCE ADOPTED BY THE CITY OF FARMERS BRANCH PROHIBITS DISCHARGE OF WASH WATER CONTAINING DETERGENTS, SOLVENTS, DEGREASERS OR OTHER CLEANING SUBSTANCES USED IN THE WASH DOWN OF PAVEMENTS WHERE ANY SPILL, LEAK OR RELEASE OF OIL, FUEL, OTHER PETROLEUM OR HAZARDOUS SUBSTANCE HAS OCCURRED.

GENERAL NOTES

1. TRESTLE POLES WHICH SUPPORT THE SELT FENCE SHALL BE PLANTED ON A SIGHT ALIKE TURNED THE HYPOTENUSE RUMPHOL SOURCE. POLE MUST BE DUGGED A MINIMUM OF ONE FOOT.
 2. THE TOE OF THE SELT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSIDE FACE OF THE FENCE WILL PLANE AND PERPENDICULAR TO THE LINE OF PLATE. THE SELT FENCE CROWN MUST BE PLANTED IN THE TRENCHES. WEIGHT FABRIC FLAP MUST BE PLANTED UPWARD HERE TO PREVENT PLATE FROM HEAVING UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 8 INCHES DEEP AND 8 INCHES WIDE TO ALLOW FOR THE SELT FENCE FABRIC TO BE LAY IN THE GROUND AND BURIED WITH COMPACTED MATERIAL.
 4. SELT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POLE OR TO WIRE WIRE, WHICH IS IN TURN ATTACHED TO THE TRESTLE FENCE POLE. THESE SHALL BE A 4 X 3 FOOT OVERLAP, SECURELY THREADED WHERE CABLES OF FABRIC MEET.
 5. INSPECTION SHALL BE MADE WEEKLY AND AFTER EACH RAINFALL, REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NECESSARY.
 6. SELT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETED OR TERMINATED SO AS NOT TO BLOCK OR WEAKEN PLATE OR TRENCHES.
 7. ACCOMMODATION SHALL BE REMOVED WHEN IT PRESCIDES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SELT FENCE SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SEDIMENT.

STABILIZED CONSTRUCTION ENTRANCE

GENERAL NOTES

1. TRENCHES SHALL BE 3 TO 4 HIGH DIRECTED CRUSHED ROCK OR
ACCEPTABLE CRUSHED PAVING STONE CONCRETE.
 2. LOWER LEVELS SHALL BE SHOWN OR PLACED AS A HORIZONTAL
LAYER OF 12 FEET FOR LUMPS AND 18 FEET FOR THE LOWER 12 FEET.
THE DEPTH OF THE LUMPS SHALL NOT EXCEED THE MAXIMUM DEPTH IN ALL
OTHER CASES SHALL BE 12 FEET.
 3. THE THICKNESS SHALL NOT BE LESS THAN 4 INCHES.
 4. THE WORK SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL
POINTED UNDERSIDES.
 5. THE SURFACE WHICH SHALL BE CLEARED TO
THE GROUND FLOOR TO DISTANCE ONE DAY A PUBLIC
WALKWAY WHICH WHEN GRADED AND DRAINED WILL BECOME
A 12 FEET WIDE WALKWAY WHICH WILL BE PROVIDED WITH
A STONE FLOORING FROM FLOOR TO STREET LEVEL AND THE
STABILIZED SURFACE. ALL JEWELS WHICH ARE PROVIDED
SHALL BE PLACED ON THE SURFACE OF THE WALKWAY
IN APPROXIMATE NEARNESS.
 6. THE DISTANCE WALL AT JEWELERS IS A CONCRETE WHICH
WILL EXTEND BACK TO THE POINT WHERE IT IS TO MEET
THE SURFACE WHICH REQUIRE PAVING. THIS DISTANCE WHICH
WILL BE PROVIDED BY THE CONCRETE DRAINS, ALL TERRAIN
SPILLS, SEWERS, ETC. WHICH ARE PROVIDED ON THE
SURFACE WHICH IS PROVIDED IMMEDIATELY.
 7. THE DISTANCE WALL IS PROPERLY PROVIDED TO APPROPRIATE
CONTRACTOR WHILE IT PROVIDED ALMOST 100 FEET LEAVING

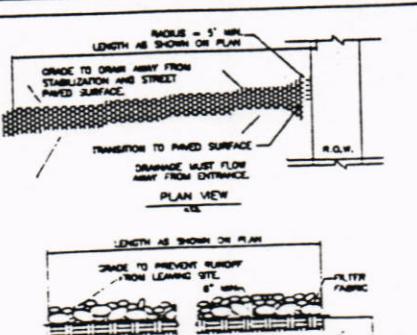
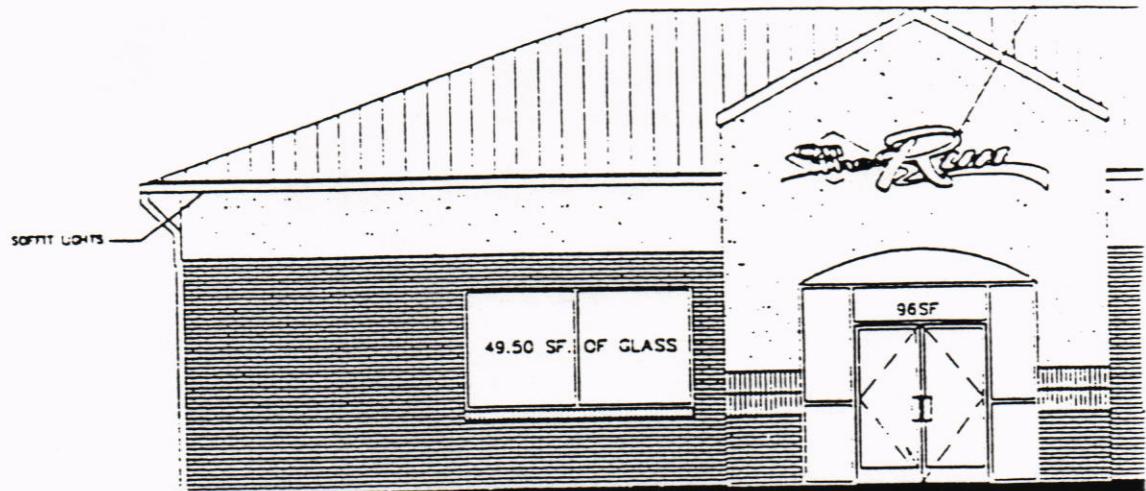


Exhibit "A"

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EROSION CONTROL	
TECO STORE No. 613	1/13/98 PEA TECO
3995 MIDWAY ROAD and SPRING VALLEY ROAD	1/21/98 PER CITY COMMENTS
FARMERS BRANCH, TEXAS	1/22/98 PER TECO
	3/2/98 PER CITY COMMENTS
	3/11/98 PER CITY COMMENTS
	4/8/98 PER CITY COMMENTS

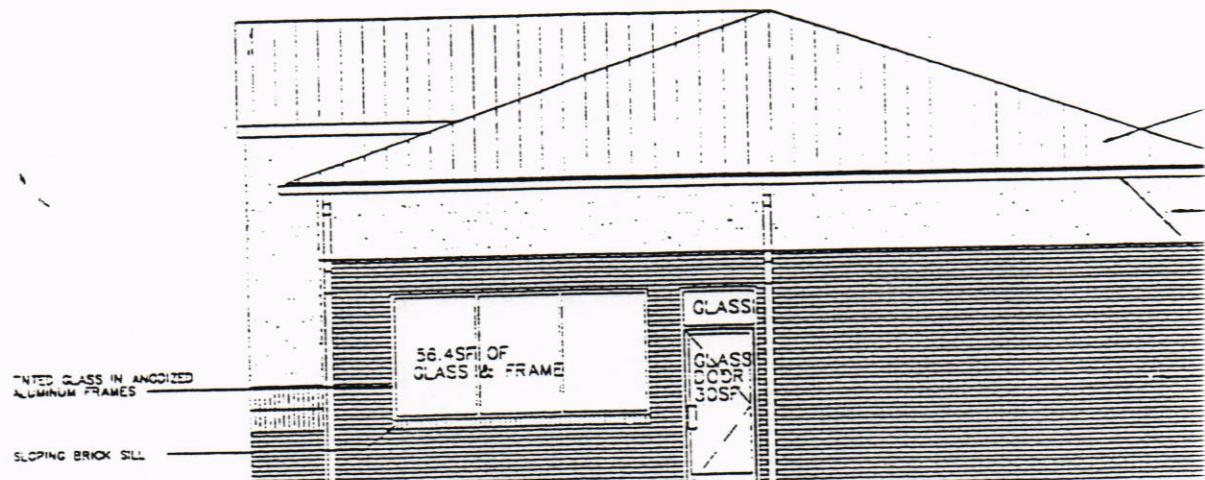
DEVELOPER / OWNER
TETCO STORES, LP
1777 N.E. LOOP 410
SAN ANTONIO, TX 78211
TE (210) 821-5900



TOTAL AREA OF GLASS = 245.50 SF RECESSED ALUMINUM & ENTRY DOORS AND SIDE

① EAST ELEVATION
FRONT OF STORE

$1/4'' = 1'-0''$



TOTAL AREA OF GLASS = 36.4 SF

② NORTH ELEVATION
RIGHT SIDE OF STORE

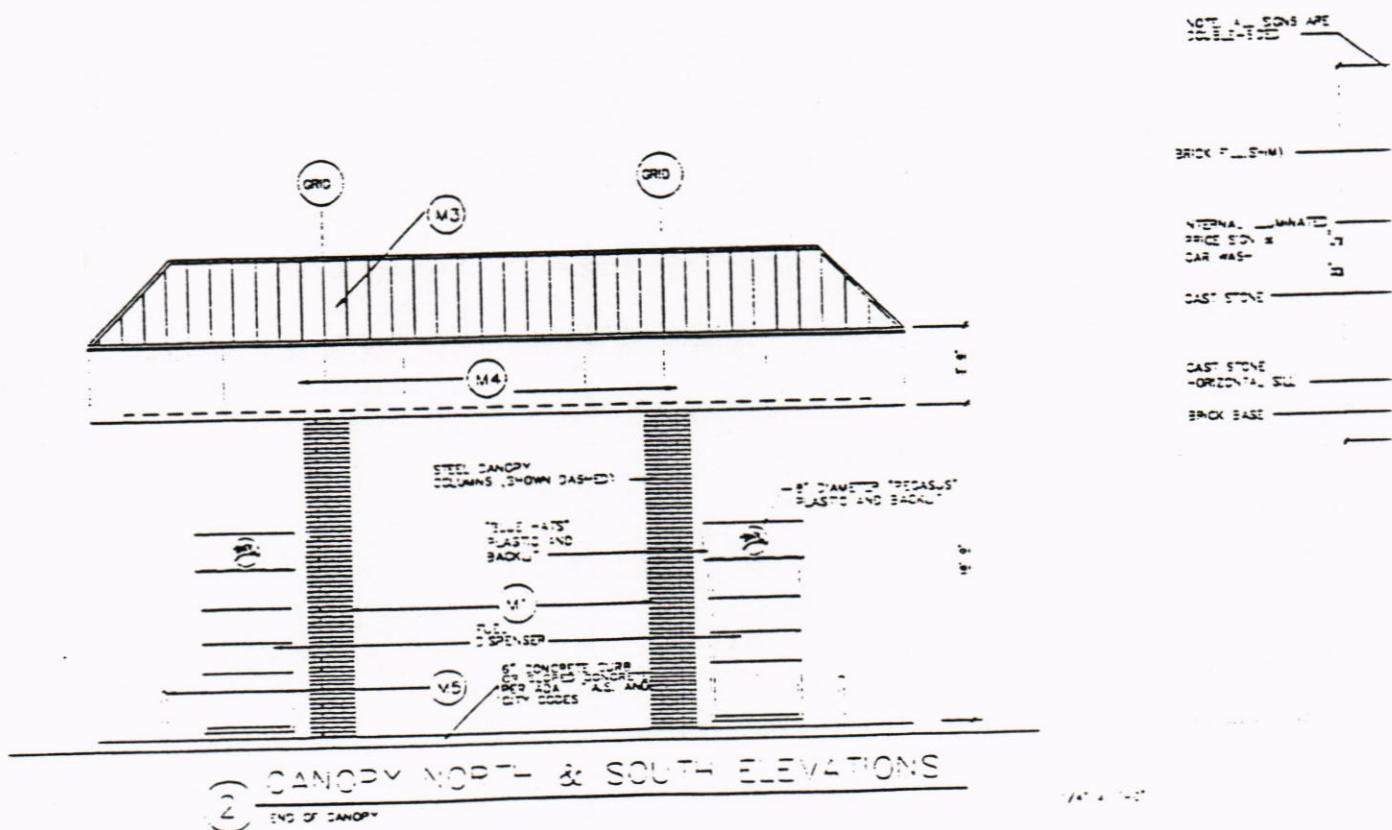
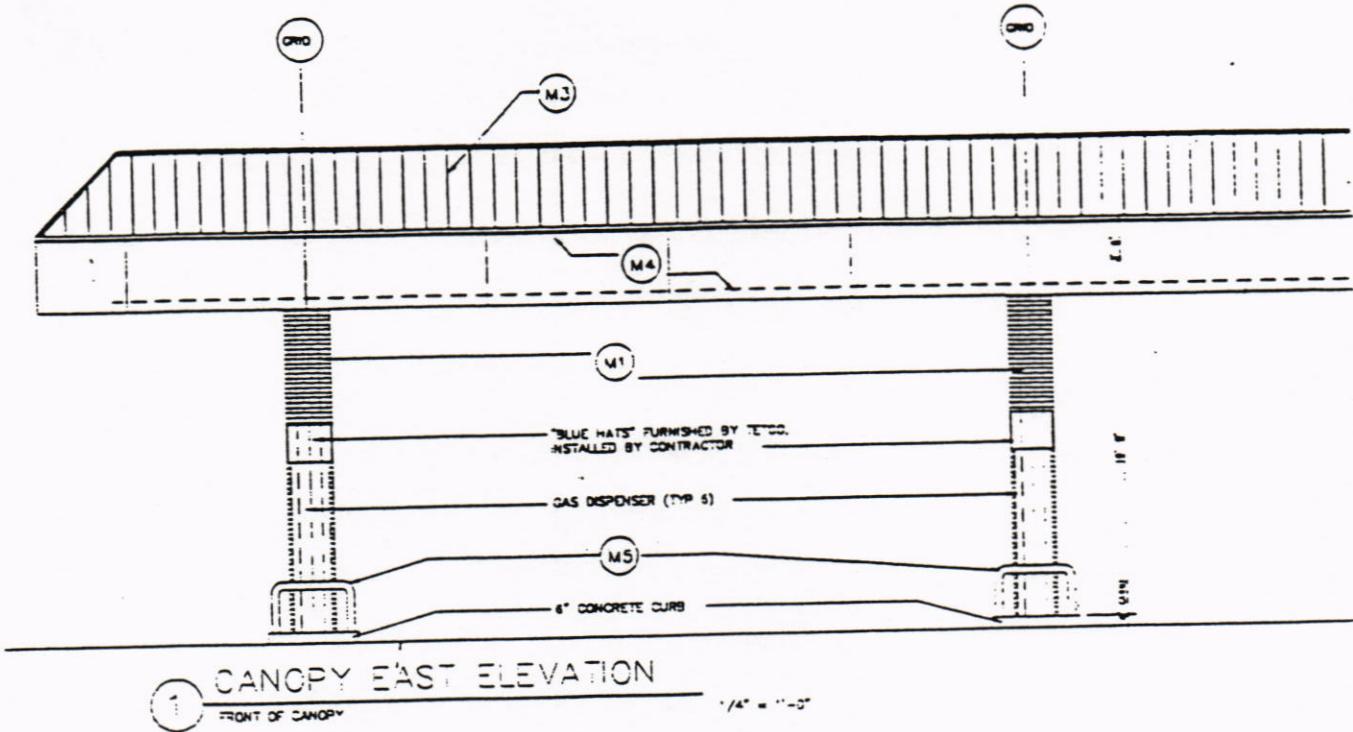
$1/4'' = 1'-0''$

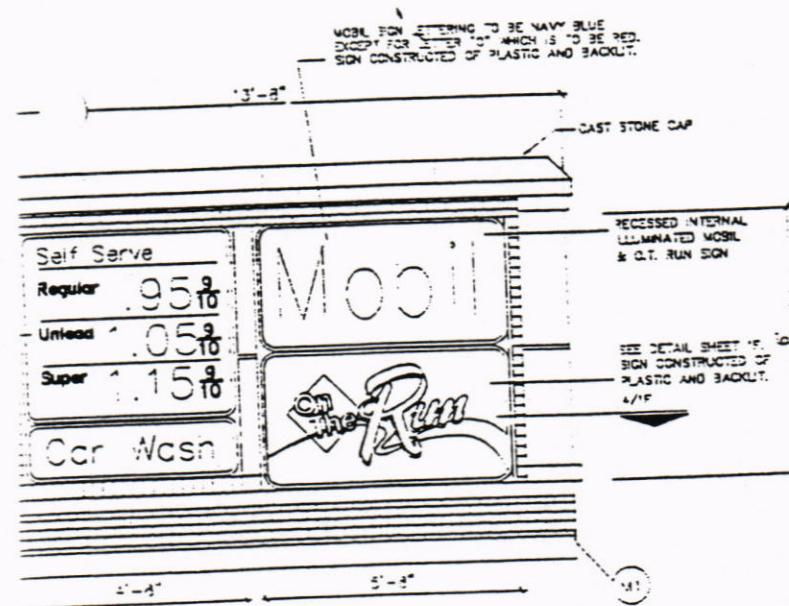
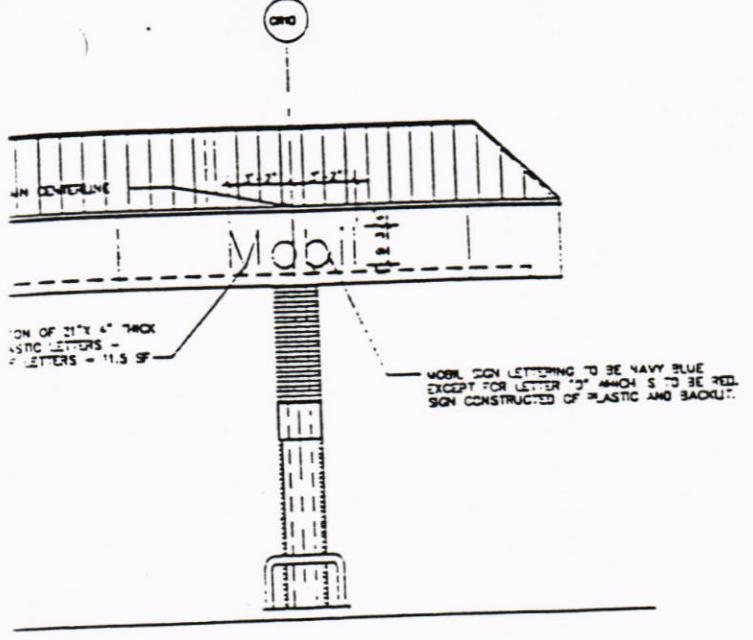
5" DIA. STEEL BOLLARD
AND GATE SUPPORT - PAINT
DARK BRONZE

Exhibit "A"
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DUMPSTER SOUTH ELEVATION
FRONT OF THE DUMPSTER

DUMPSTER EAS (3H1)
LOT OF ENCLOSURE





MATERIAL/COLOR/SELECTIONS

- M1) FACE BRICK - ACME BRICK - ST. LOUIS
- M2) STUCCO - TAUPE TO MATCH RETAIL PARKSIDE CENTER NORTH
- M3) STANDING SEAM METAL ROOF & MISC. METAL - DARK GRAY
BROWN TO MATCH PARKSIDE CENTER NORTH
- M4) STUCCO - TAUPE COLOR
- M5) TAUPE
- M6) EXTERIOR DOORS - COLOR TO MATCH ACME - ST. LOUIS

MONUMENT SIGN PLAN SECTION

AREA ANALYSIS	
PRICE SIGN	4'-4" X 12' = 124 SF
CAR WASH SIGN	4'-4" X 12' = 124 SF
Mobil SIGN	5'-8" X 12' = 67 SF
IN THE RUN SIGN	5'-4" X 12' = 64 SF
BRICK SURROUND X STONE CAP	154 SF
TOTAL:	455 SF

Exhibit "A"
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SHEET - STORY		
	DATE	DESCRIPTION

TETCO

CONSULTANT'S SEAL

STORE #613
MIDWAY & SPRING VALLEY
FARMER'S BRANCH, TEXAS

CANOPY ELEVAT. SCS
& MONUMENT SCS

312

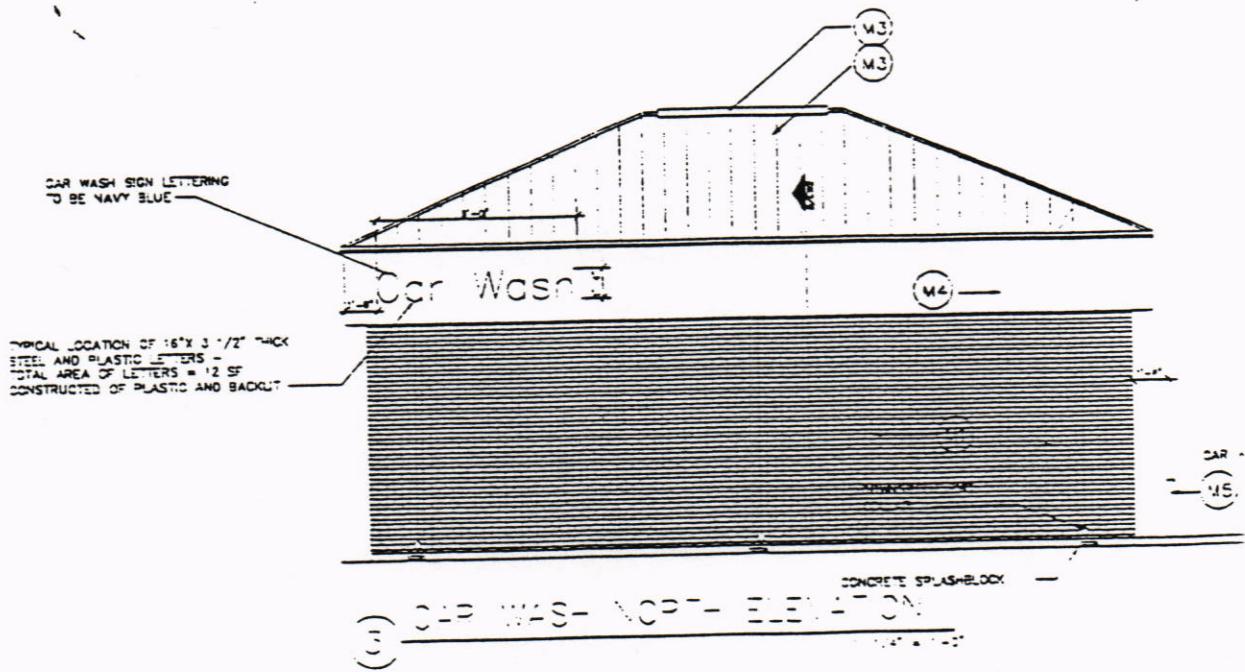
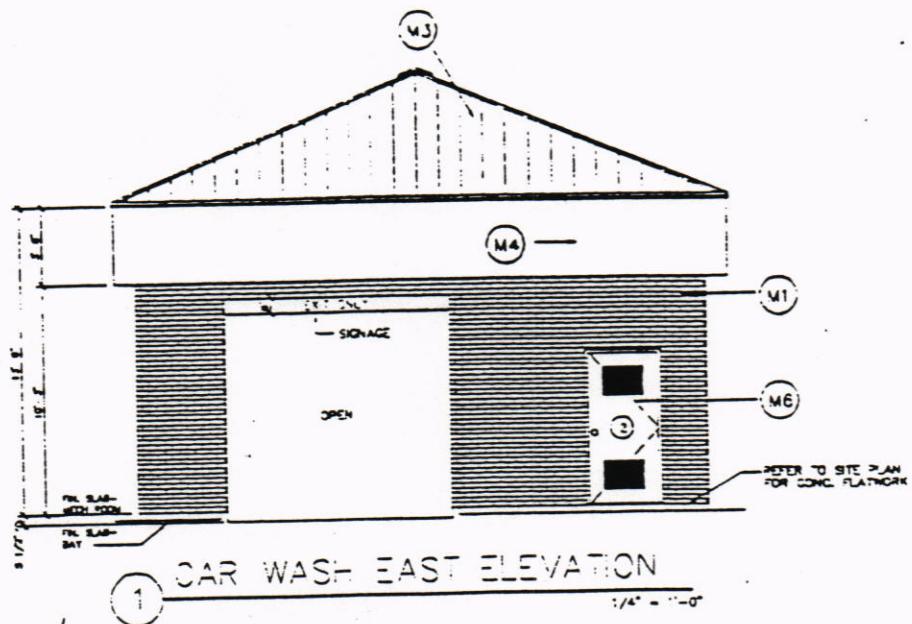
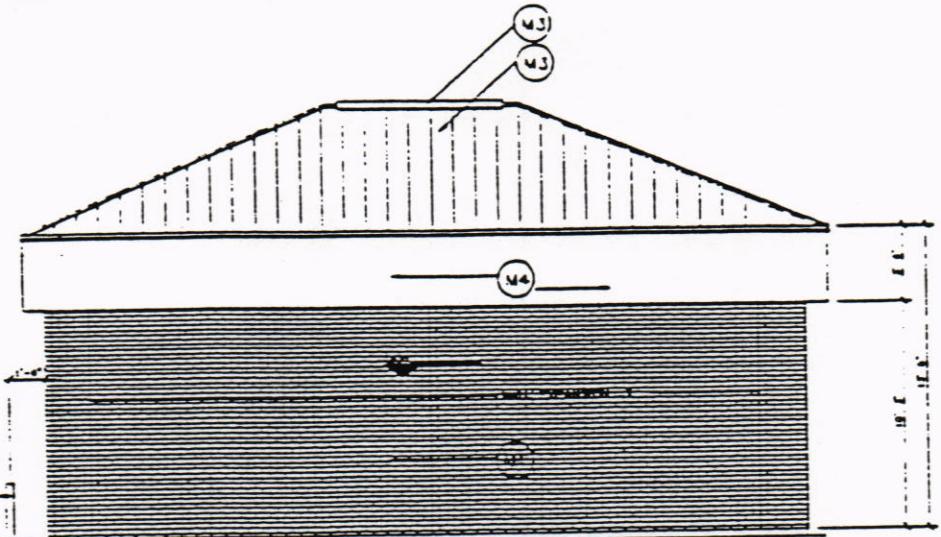


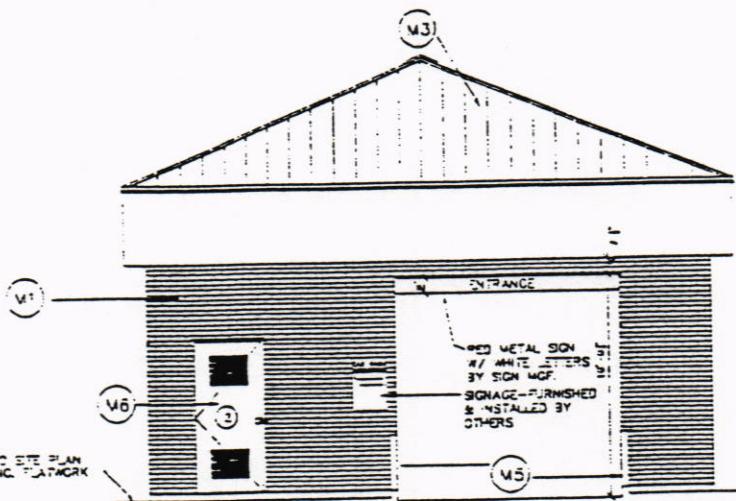
Exhibit "A"

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(2) CAR WASH SOUTH ELEVATION



(3) CAR WASH WEST ELEVATION

MATERIAL & COLOR SELECTIONS

- (M1) FACE BRICK - ACME BRICK - ST. LOUIS
- (M2) STUCCO - TAUPE TO MATCH RETAIL PARKSIDE CENTER NORTH
- (M3) STANDING BEAM METAL ROOF & MISCELLANEOUS - DARK GRAY
- (M4) BROWN TO MATCH PARKSIDE CENTER NORTH
- (M5) TAUPE ALUMINUM PANELS
- (M6) TAUPE

one STORE

SHEET HISTORY

NO.	DATE	DESCRIPTION
1	2/26/88	FOR APPROVAL

TETCO

STORE #613

MIDWAY & SPRING VALLEY
FARMER'S BRANCH TEXAS

CAR WASH
ELE. 47-001

Exhibit "A"

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3J2

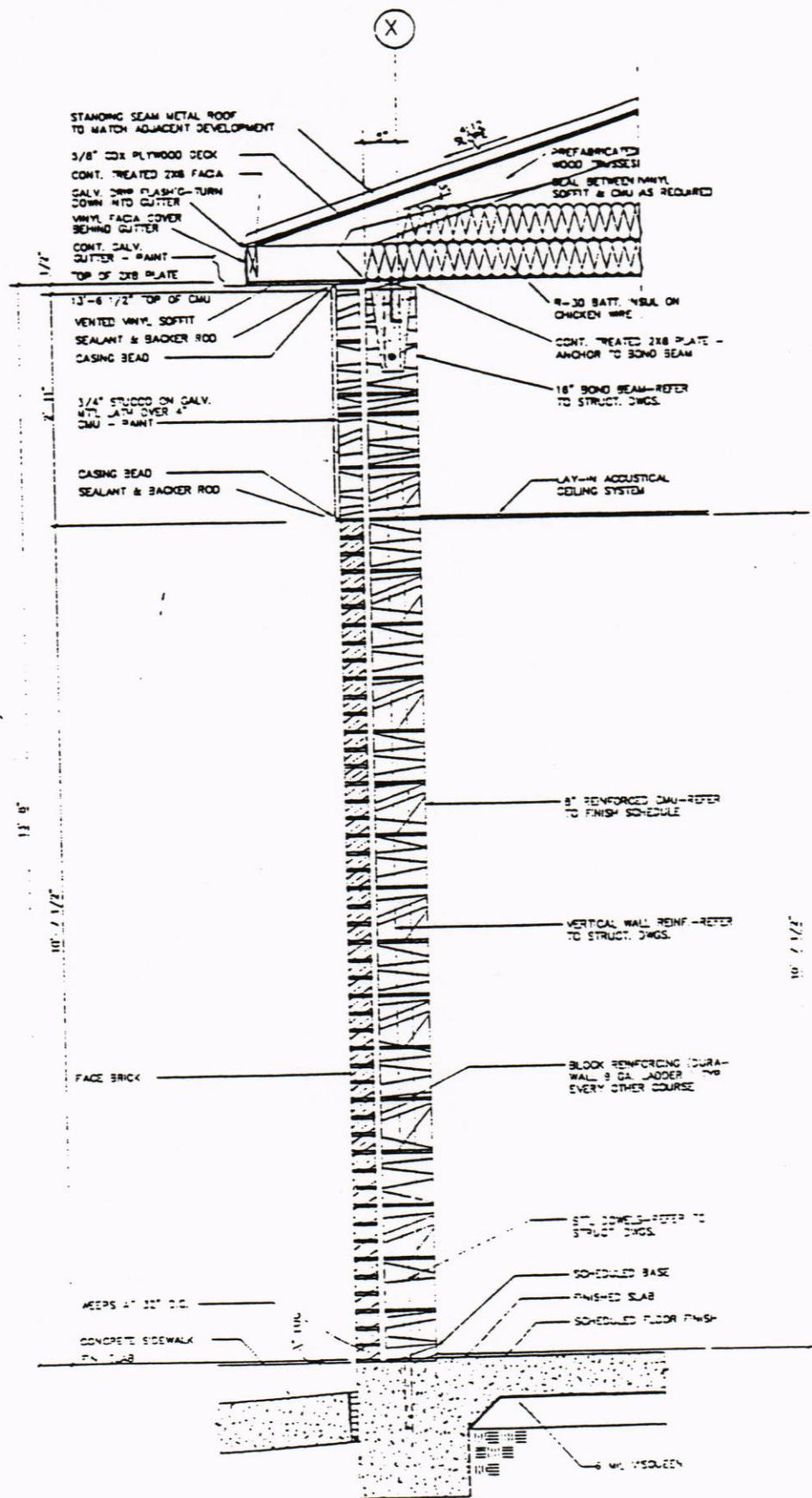


Exhibit "A" — Wall Section
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SHEET HISTORY		
NO.	DATE	DESCRIPTION
1	12/23/98	INITIAL

TETCO

CONSULTANT TO SEAL

STORE #13
WOWAN & SPRING VALLEY
FARMERS BRANCH, TEXAS

3K2

Exhibit "A"
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